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HOUNSLOW CHARACTER, SUSTAINABILITY AND DESIGN CODES SPD

PART A5 RESIDENTIAL EXTENSION GUIDELINES

 London Borough
of Hounslow

Allies and Morrison
Urban Practitioners

A5 RESIDENTIAL EXTENSION GUIDELINES

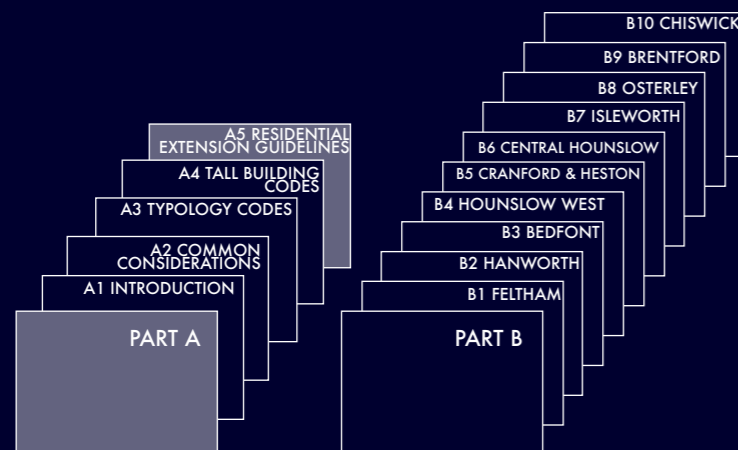
Document structure

This Character, Sustainability and Design Codes SPD is comprised of the following parts;

Part A: Introduction & Design Codes

Part B: Places

Within each part, there are individual chapters that must be opened separately to view. Use this diagram to help navigate the structure of the Character, Sustainability and Design Codes SPD.



1. Introduction	5
2. Windows, doors and materials (within extensions)	6
3. Single storey rear extensions	7
4. Single storey side extensions	9
5. Two storey side and first floor side extensions	11
6. Two storey rear and first floor rear extensions	13
7. Basements	14
8. Outbuildings.....	16
9. Porches.....	17
10. Roof extensions, roof lights & solar panels.....	18
11. Front Gardens, Parking & Boundary Walls	21
12. Sustainable Energy Infrastructure & Insulation.....	23
13. Garages.....	24
14. New and Replacement Windows and Doors.....	25
15. Miscellaneous development.....	25
16. Conservation Areas and Listed Buildings.....	26
17. Extensions in conservation areas	27
18. Roof extensions and roof terraces in conservation areas.....	28
19. Miscellaneous development in conservation areas.....	29

1. Introduction

- A51 This section outlines the type of residential extensions the Council may find to be acceptable. The Council acknowledge that every property is slightly different and this is part of the consideration of a scheme, but any development that does not meet this guidance may be refused.
- A52 These Guidelines set out the importance of balancing applicants' need for greater space against the need to prevent extensions from harming neighbours' living conditions or the character of the house and local area. This can be achieved through careful attention to the depth, position, height and design of the extension.
- A53 The Council would also stress the importance of seeking pre-application advice before making an application. Failure to provide accurate plans, in accordance with the Council's adopted guidance, could result in wasted time, unnecessary expense and frustration.
- A54 If the property to be extended is listed or in a Conservation Area applicants should review the guidance under the "Conservation Areas and listed buildings" heading at the end of this chapter in addition to the guidance offered below.

2. Windows, doors and materials (within extensions)

- A55 The design, position and size of windows and doors on extensions must reflect the style, position, proportions and size of the ones used in the main house. To avoid overlooking neighbouring properties, windows and doors should be proposed in the front and rear wall of an extension. If side windows that allow views into neighbouring properties are proposed, they should contain frosted glass and be non-openable to a height of at least 1.7 metres above the internal floor level.
- A56 With regard to materials, the aim is to integrate the extensions with the original house, keeping the range of materials used to a minimum. In most cases, and unless there is a clear design rationale for a different and/or contemporary architectural style, it is important with brick extensions to match the mortar colour, bonding and pointing of the host dwelling and to preserve architectural details such as balustrades, cornices, balconies, chimney stacks and window sills. Roof tiles should match those of the host dwelling.
- A57 The Council may consider contemporary architecture acceptable if it responds intelligently to current and future lifestyles, needs and technology, whilst ensuring that it respects local context and enhances the appearance of the area. Applicants should use high quality and durable materials to create long-term value and help to ensure that extensions and alterations can stand the test of time.
- A58 In general, a standard condition of a planning permission will require that the materials used in the construction of an extension and alteration match those of the existing building.

3. Single storey rear extensions

3.1 Summary

A5.9 This is the most common type of house extension in the Borough. It is often the easiest and most obvious way to extend a house and to provide additional living space.

3.2 Scale

A5.10 It is important that this type of extension is secondary to the original house. It should not project too far from the rear wall of the original house as this could cause an unacceptable sense of enclosure and block daylight/sunlight received by neighbours. To help prevent this, the Council has set the following maximum depths depending on the type of house. Applicants must measure these from the main rear wall of the original house. The measurements must include any overhanging roof added to the rear wall of the extension:

- Terraced house (incl. end terrace) = 3.05m (10ft).
- Semi-detached house = 3.65m (12ft).
- Detached house = 4.25m (14ft).

A5.11 The height of a single storey rear extension should appear in scale with and subservient to the host dwelling. It should be set below any first floor window and be designed in a manner that minimises harm to neighbouring properties.

A5.12 It is important to remember that these limits apply to first time extensions. Second extensions, canopies or conservatories added to existing extensions (and therefore exceeding the limits) can severely overshadow and enclose neighbours. They will normally be refused.

A5.13 If the property has a small rear garden the need to retain outdoor space will be considered. In that case, relevant Local Plan policies would apply.

3.3 Position

A5.14 It is important to design extension in a way that ensures no part of it crosses or overhangs the property boundary (including guttering).

3.4 Roof Design

A5.15 A flat roof is normally acceptable for a single storey rear extension. However, some types of house may require a pitched or hipped roof. Overly high roofs could spoil the design of the scheme and block sunlight and daylight to your neighbours' house and garden and harm their outlook. To help prevent this, we recommend that the angle of the roof pitch is as shallow as possible. If your roof pitch is too steep we are likely to refuse it.

A5.16 The use of a flat roof as a balcony or roof terrace is likely to harm neighbours' privacy and the Council will normally refuse such schemes.

3.5 Infill Extensions

A5.17 Some older houses were originally built in an L-shape and have an existing rear projection or 'outrigger'. This means that there are two rear walls or, 'building lines'.

A5.18 An extension that projects for the entire depth of the outrigger and wraps around the rear part of the original addition has the potential to block daylight and sunlight to the neighbouring house unacceptably. In some cases, it may be acceptable to build an infill extension the full depth of the original rear addition/outrigger, but where these extensions exceed the maximum depth requirements, the eaves of the extension on the shared boundary should not exceed two metres high and the pitch of the roof should not exceed 45 degrees, sloping away from the side boundary.

3.6 Conservatories/Pergolas

A5.19 A glazed conservatory or open sided 'pergola' on the back of the house is still considered as an extension. The criteria that apply to brick and rendered extensions still apply. The side elevations of a conservatory should be in solid materials to prevent overlooking. Where high level windows are proposed, these should be fixed shut and finished in frosted glass. The Council will normally refuse a conservatory or pergola to the rear of an existing extension. Conservatories should be confined to rear and side gardens at ground floor level only.

3.7 Adjoining Extensions

A5.20 Some properties may lie between two houses that have had very deep rear extensions built. This occurs when the neighbours have built extensions as 'Permitted Development', or without planning permission over four years ago. Under these circumstances The Council may give permission for an extension of similar depth if it does not block light to neighbours.

A5.21 Where there is a deep extension on only one side, permission may be given for an 'L' shaped extension or an extension with a corner taken off.

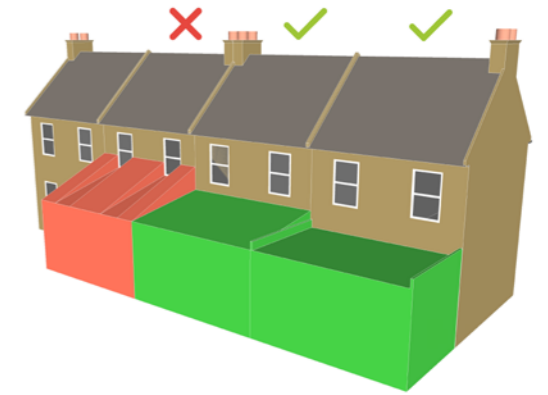


Fig A5.2 Single extension roof design (above)

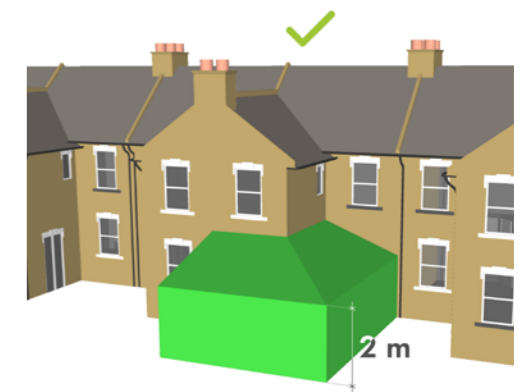


Fig A5.3 Single extension infill extension height limit (below)

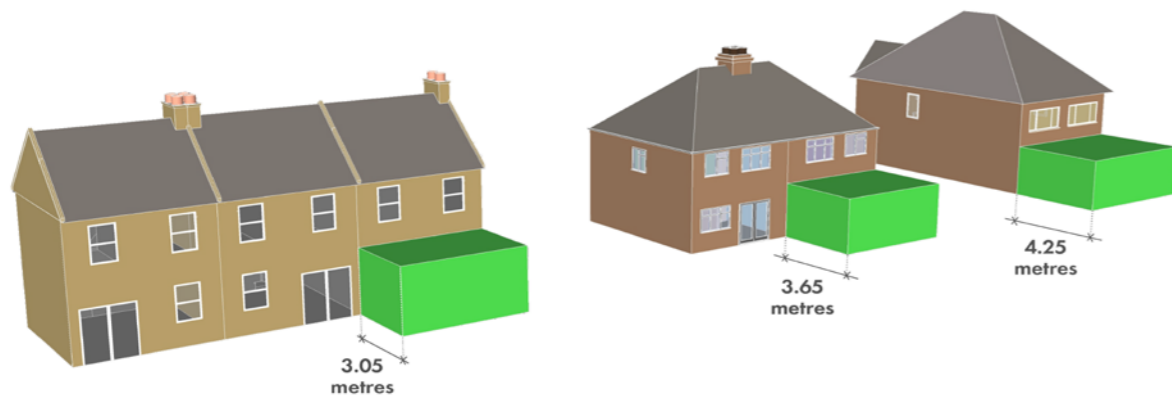


Fig A5.1 Maximum single storey depths

4. Single storey side extensions

4.1 Summary

A522 Single storey side extensions provide an opportunity to extend homes but are likely to raise concerns in terms of poor design, impact on neighbours or the 'street scene'. Applicants need to give careful attention to the extension's depth, position, height, roof style and design and the arrangements made for off-street parking. It is very important that side extensions accurately reflect the design of the main house and remain secondary in size and appearance.

A523 Please note this section does not refer to infill, additions to the side of existing rear projections. Please see section 3.5 for details on how to design such additions.

4.2 Proportion

A524 The height and width of side extensions should be proportionate and subordinate to the dimensions of the original house, with the roof height retained below the eaves level of the first floor of the property. The width should be less than half that of the main house. The side wall of the extension should be parallel to the original house and, where the boundary is at an angle to the house, the side wall should not follow the boundary line.

4.3 Position

A525 Applicants should set back their extensions at least one metre from the main front wall of the house (excluding bay windows) to prevent a 'terracing effect' and to allow the original proportions of the building to remain the prominent feature. In the case of end of terrace or semi-detached houses, where an existing side extension without a set-back on the other end of terrace/adjoining house exists, the Council will seek to match such position of an extension with a similar set-back, so the symmetry of the pair of semis, or the terrace as a whole, would be kept or restored.



Fig A5.4 Side extensions must be secondary in scale

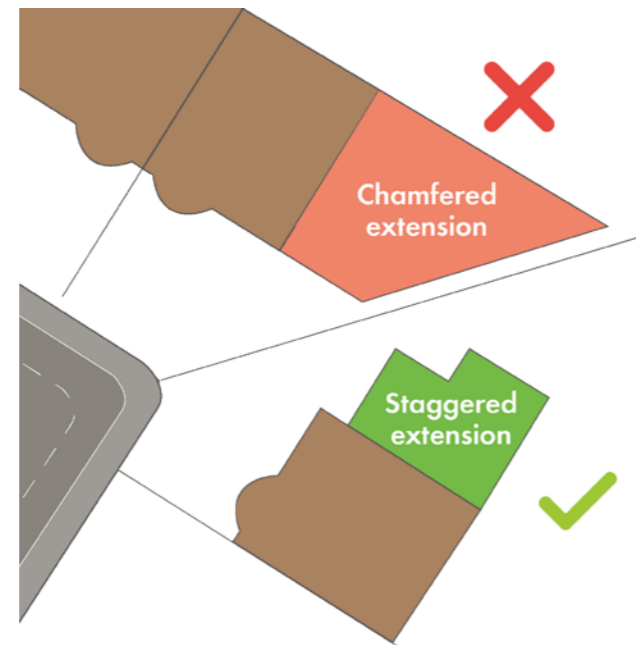


Fig A5.5 Side extension walls must be parallel to the original house

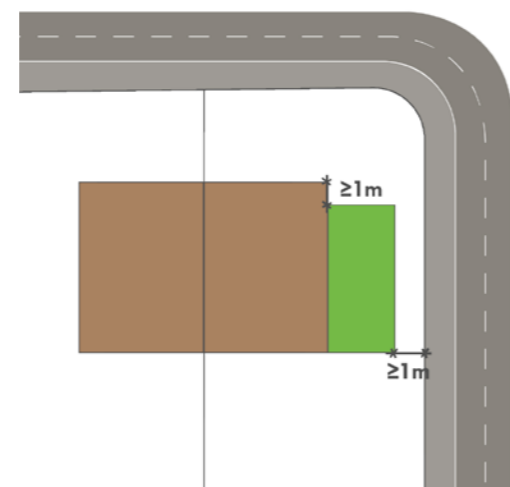


Fig A5.6 Side extensions for end of terrace or semi-detached houses will require further set backs

A526 The Council may not require a front set-back where an existing addition/garage is replaced which already projects up to the front line of the house.

A527 The Council also may not require a front set-back where houses are staggered back from one another, and a neighbour's property projects well beyond an extension. However, in some cases, in order to stop your extension from blocking light to the neighbouring house, it should include a corresponding set-back from the rear wall. It is important that no part of the extension crosses or overhangs the boundary line.

4.4 Design

A528 To help the extension blend in with the house and street, the design and style of the roof should either be flat or match that of the main roof to the original house. If a pitched roof is proposed, the angle of the roof should match that of the main roof of the house. Where appropriate, the extension should normally replicate existing detailed design features. A separate front entrance door will not be acceptable.

4.5 Granny Annexe

A529 Granny Annexes are defined as semi-independent incidental accommodation integrated into the main house for a member of the extended family who is in need of care or support. If the purpose of the extension is to provide accommodation for a relative, it must not have a separate entrance. The extension must be connected internally to the rest of the house, and must not include a separate kitchen, nor be designed so that it is capable of being used as a separate dwelling.

4.6 Balconies

A530 To ensure neighbouring properties are not overlooked, the roof of the extension must not be used as a balcony.

4.7 Corner Plots

A531 Applicants need to take extra care for proposed side extensions on corner plots due to their exposed location. In such cases a one metre set-in from the side boundary may be required to reduce the impact of the addition. Any wrap around proposal that connects a side extension to a rear extension on a corner plot will normally be refused.

5. Two storey side and first floor side extensions

5.1 Summary

A532 Similarly to ground floor side extensions, two storey and first floor side extensions have the potential to harm the character of the area and neighbouring properties due to their location and proximity to neighbouring dwellings.

A533 The ground floor section of a two - storey side extension should follow the same principles as a ground floor side extension, as outlined in the section above. The only exception to this would be when the ground floor extension already exists, and the proposal is for an additional storey above this.

5.2 Position

A534 The extension at first floor level (regardless of the set back of the ground floor) should normally be set back at least one metre from the original front wall of the house to stop the creation of a 'terracing effect', and to allow the original proportions of the building to remain the prominent feature.

5.3 Proportion

A535 The height and width of these side extensions should be proportionate and subordinate to the dimensions of the main house. The width should be less than half the width of the main house and the roof should be set down from the roof of the original house by at least half a metre.

A536 The only exception may be in the case of end-of-terrace or semi-detached houses where there is an existing two - storey side extension without a set-back on the other end of terrace/ adjoining house. In cases such as this, the Council will expect to see that the symmetry of a pair of semis or the opposite ends of a terrace is kept or restored.

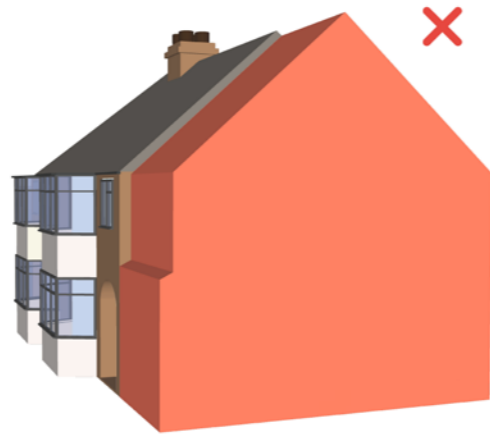


Fig A5.7 Side extensions should not create a terracing effect, they should be subordinate

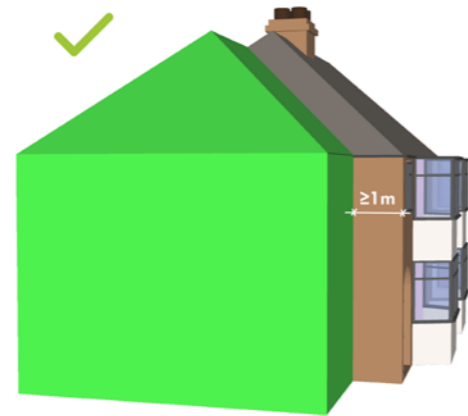


Fig A5.8 Side extensions should normally be set back at least 1m from the original front house wall



Fig A5.9 Side extensions must be subordinate and the symmetry of a pair of semis or opposite ends of terrace should be kept or restored

5.4 Design

A537 To help the extension blend in with the house and street, the design and style of the roof should match that of the main roof. On the front and side, the angle of the roof should match that of the original main roof. Applicants should replicate original design features. A separate front entrance door will not be acceptable.

5.5 Granny Annexe

A538 If the purpose of the extension is to provide accommodation for a relative, please refer to paragraph A5.29 of this guidance which deals with granny annexes.

5.6 Unusual Layouts

A539 Most houses are built in a row with their main windows looking onto the street and rear gardens. However, there are several streets in the Borough where the rear windows of houses on one street directly face the side wall of another house. In these circumstances, two storey or first floor side extensions will normally be refused if they would overshadow or block daylight to these windows. The Council may also refuse the extension if it blocks in the side garden of a neighbouring house unacceptably. In such cases the Council may only allow a single storey side extension.

5.7 Corner Plots

A540 If a house is on a corner plot with a road or footpath alongside it is important to set the extension at least one metre in from the side boundary and at least one metre back from the main front wall of the house (regardless of whether there is an existing ground floor extension). All extensions should be proportionate to the dimensions of the main house. Where a side extension is proposed to a property on a corner plot it should not wrap around to connect with a rear extension.

A541 The Council will assess the impact of the extension on the street's character and appearance. Applicants may wish to consider using patterned brickwork or matching render to soften the appearance of the enlarged side wall of your house. The Council will refuse proposals that would result in an ugly or bulky extension on or close to the street boundary.

5.8 Bungalows, cottages, and 3-4 storey houses

A542 A small number of these house types are scattered throughout the Borough. Because their appearance varies considerably you should apply the above wherever possible, but the Council understands that special consideration will have to be given to the design of any multi-storey extension to these properties. The Council suggest that you apply for formal pre- application advice before you submit an application (see the Council's website for details of how to go about this).



Fig A5.10 Side extensions will not be permitted where the rear windows of houses face the side wall of the house in question

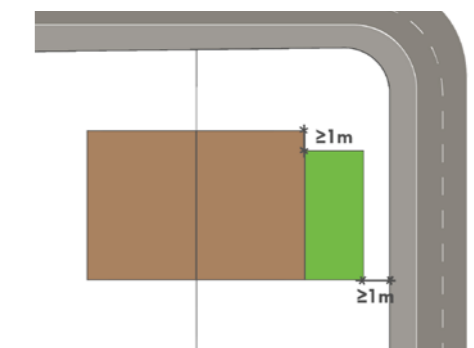


Fig A5.11 Corner plots extensions will need to be set in by 1m from the boundary and main front wall of the house

6. Two storey rear and first floor rear extensions

6.1 Summary

A543 These potentially can have much more negative impact on neighbours than other types of extension. They may cause severe enclosure and overshadowing, unacceptably reducing the availability of light and blocking-in adjoining houses and gardens. For these reasons a two-storey or first floor rear extension on a mid-terrace property will rarely be acceptable. Such extensions on end-of-terrace, semi-detached and detached properties may be acceptable, dependent on individual site circumstances.

A544 The ground floor section of a two storey rear extension should follow the same principles as a ground floor rear extension, as outlined in the single storey rear extension section.

6.2 Proportion

A545 The height and width of these rear extensions should be proportionate and subordinate to the dimensions of the main house. A suitable balance will need to be achieved to allow a practical room size without harming neighbouring properties or damaging to the character of the host property and surrounding area.

A546 Whether the scale of a two storey rear extension will be acceptable will be dictated by the need to protect neighbouring properties from loss of light, safeguard outlook and prevent enclosure. This will vary based on the size of the host property and the proximity of adjoining homes.

A547 On this basis the width of a first floor rear extension should be no greater than half the width of the original house. The depth of the first floor extension should not project more than 2.5 metres beyond the rear wall of the house, unless you can clearly demonstrate

that there will be no harm to neighbouring properties (for example through a daylight and sunlight analysis). The eaves height of the addition should match the height of the eaves height of the host property.

6.3 Position

A548 The first floor section of the proposal should be set a minimum of two metres from the original side wall of a neighbouring property to avoid loss of light or enclosure. In general, a first floor rear extension should be set off the shared boundary as far as possible, while retaining a two-metre separation from the side wall of the non-adjoining neighbour.

A549 The Council will generally refuse any application that proposes an additional storey on top of an original two storey outrigger due to the potential impact on neighbouring properties and failure to achieve a subservient design.

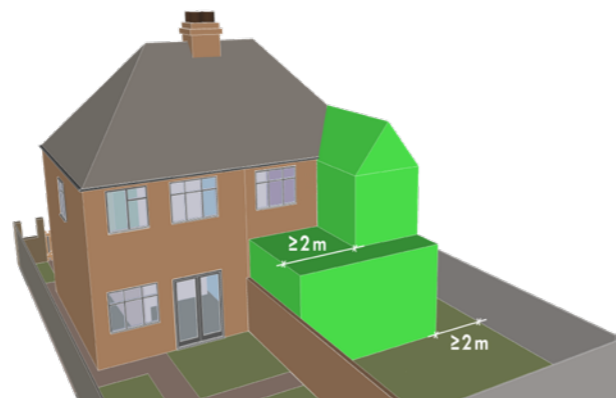


Fig A5.12 Corner plots extensions will need to be set in by 1m from the boundary and main front wall of the house

7. Basements

7.1 Summary

A550 Whilst basements can be a useful residential extension because they have little visual impact and may provide additional space without encroaching into garden areas, they will only be appropriate in some contexts. Basements should not harm the character of the property or the surrounding area, or neighbours' living conditions. They should respect and maintain biodiversity, particularly mature trees, and garden planting.

A551 In addition basements can raise a number of other planning issues and challenges, including matters of sustainability, drainage and flood risk and concerns over disruption during construction and land stability.

A552 With regard to disruption during construction and land stability there is limited control the planning authority can exercise over this. Planning conditions will seek to limit such impacts and may include: membership of Considerate Constructors' Scheme or comparable arrangements and requirements for details to be made available of skip placement, vehicle movement and emergency contact information.

A553 In addition, where the Council allows a basement, the developer will be required by condition to submit a Construction Method Statement which is certified by a suitably

qualified engineer. The statement must provide details of excavation, temporary works and construction techniques, including potential impacts on neighbouring land based on assessment of the area's geology and hydrology and how noise, dust and vibration will be dealt with.

A554 The guidance which follows seeks to achieve a suitable balance that allows additional space without compromising current policies relating to the matters above.

7.2 Size

A555 The depth of basement should be no deeper than a single subterranean floor to ensure the development remains sustainable and doesn't result in a scale of dwelling that harms neighbours.

A556 Basements should not extend beyond the main front or side walls of the house. For larger properties, it may be acceptable to construct a basement under part of the garden space up to a depth of 3.05 metres for terraced properties, 3.65 metres for semi detached properties and 4.25 metres for detached properties.

A557 Where basement extensions project under the original garden, the surface level should be reinstated with a minimum soil depth of one metre, this is to allow for sustainable drainage and replanting.

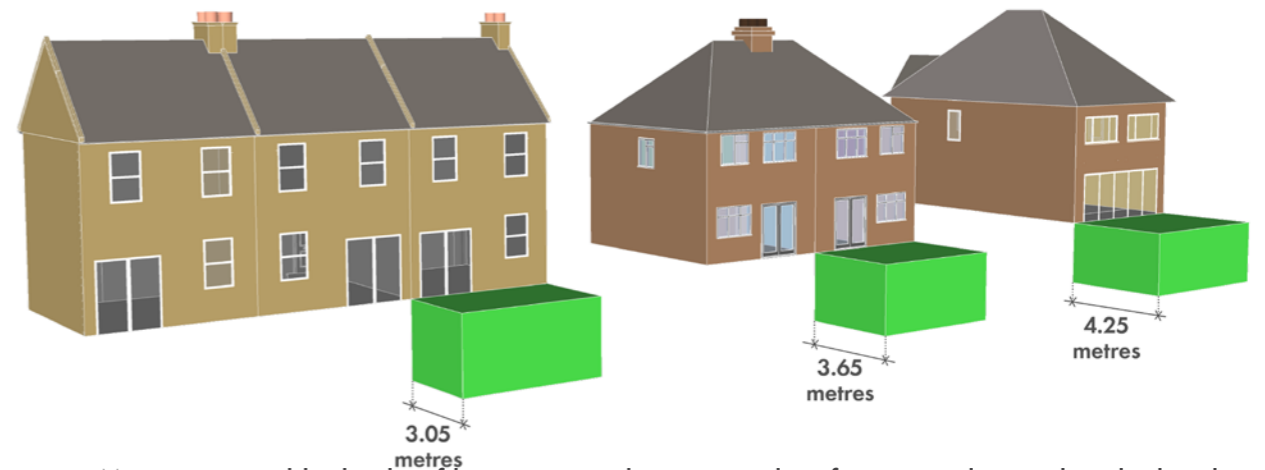


Fig A5.13 Maximum possible depths of basements under rear gardens for terraced, semi-detached and detached houses

8. Outbuildings

7.3 Design

A558 Unless visible lightwells are a characteristic of other buildings in the street, new lightwells should be of a modest depth and extend no more than a metre from the front wall of the building and two metres from the rear wall. For houses with small rear gardens (smaller than the prescribed amenity standards in the London Plan), lightwell sizes should be modest and no deeper than existing extension.

A559 The Council expect front lightwells to be screened from the street by boundary walls, fencing and landscaping to avoid changing the character of the street scene and be of a width that respects existing features and proportions of the house. The Council will not normally support large, open and full height lightwells where they are not already part of the established character of the street. In most cases lightwells should be secured by grilles set flush with ground level rather than upright railings as the latter adds clutter to front gardens and the streetscene. However, these may be acceptable at properties with large gardens or where similar lightwells are a feature of the street. The use of skylights designed within the landscaping of a garden will not usually be acceptable, because illumination and light spill from a skylight can harm the appearance of the area and cause light pollution.

A560 Basements should be accessed internally from the house. The Council will not permit separate access to the basement from stairs or ladders (apart from any emergency escape).

A561 The Council will oppose new basements to listed buildings in principle as being out of keeping with the original architectural and historic character of the building.

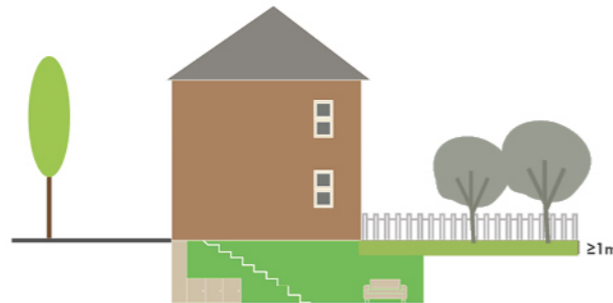


Fig A5.14 Reinstatement of garden soil to at least 1m depth to support sustainable drainage and planting

A562 Should the front of a property be used for the parking of cars you should keep enough space where a front light well is proposed to ensure the parking spaces remain big enough to accommodate a vehicle. You will find more details of this in the Council's adopted 'Residential Crossovers and Off-Street Parking Policy' document (available from the Council's website).

A563 Please note: Though basements are located below ground level a Party Wall Agreement may still be required.

7.4 Use

A564 Basement extensions must not be used as a self-contained dwelling, or be capable of conversion to such. Additionally, basements must not be used as a main living area or as sleeping accommodation due to concerns over flood risk and emergency access.

7.5 Flood Risk

A565 Applicants must submit a site specific Flood Risk Assessment for any basement development within flood zones 2 and 3; and within flood zone 1 where there is evidence of a risk from surface water, groundwater or sewer flooding.

8.1 Summary

A566 Most houses in the Borough will be able to make use of their permitted development rights to build a detached outbuilding without the need to apply for planning permission. This guidance outlines the scale, design and location of outbuilding that may prove acceptable, should a planning application be needed, and which uses of the outbuilding may prove acceptable.

8.2 Location

A567 An outbuilding should be as far away from the house as possible to stop it from overshadowing adjoining houses and gardens or appearing overbearing. The Council will not normally allow detached outbuildings very close to the house.

8.3 Scale

A568 The eaves height of an outbuilding and the overall height of a flat roofed outbuilding should be no higher than three metres. For an outbuilding with a ridged roof, the top of the ridge should be no higher than four metres. Where an outbuilding is within one metre of the boundary, its height should be reduced to minimise impact on this side, or a include hipped roof.

A569 An acceptable footprint size will depend on the scale of the garden area of the property, but it would need to appear clearly subservient to the host dwelling.

8.4 Design

A570 External materials should be similar to those used on the rear of the existing house, or otherwise sympathetic to their garden setting (such as shiplap timber). The roof style should be suitable to its setting. You must retain guttering within the application site.

A571 The Council will not normally allow rear access to an outbuilding. Doors and windows should be installed primarily only within the front

elevation to avoid overlooking neighbouring plots. Side and rear facing windows would only be permitted where officers are satisfied that the enjoyment of the neighbours' garden would not be compromised. We may require the use of frosted glazing.

8.5 Use

A572 It is essential that an outbuilding must only be used in a manner incidental to the main house. The Council will refuse, any application that proposes an independent residential unit or has been designed in a way that may facilitate future use in such a manner.

A573 Suitable uses for an outbuilding may include storage, children's playroom, home working space, greenhouse or hobby room. Usually primary living accommodation, such as a bedroom, bathroom or kitchen would not be allowed.

A574 Conditions may be attached to any planning approval to ensure such facilities are not installed and any outbuilding that fails to comply with such conditions would be at risk of Enforcement Action.

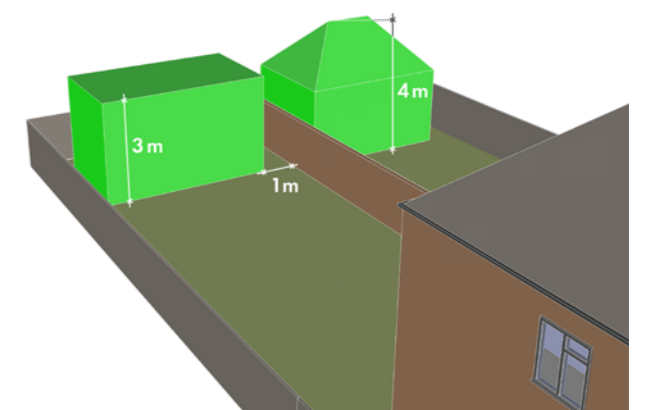


Fig A5.15 Maximum roof heights for outbuildings

9. Porches

9.1 Summary

- A575 Due to their prominent location, changes and extensions to the front of the house must be minor and not alter the overall appearance of the house or dominate the character of the street. Normally, the Council will only allow small front entrance porches.
- A576 Front extensions that are larger than a porch will normally be refused because they stand out as unusual, bulky extensions that significantly change the appearance of the house and street.
- A577 Any front extension that encroaches into an existing parking area should ensure sufficient space is retained for the parking of cars.

9.2 Location

- A578 A porch must only be built in front of the original door way to the house and the Council will usually refuse planning permission for porches that extend sideways and are linked to a side extension or attached to the bay window.

9.3 Scale and design

- A579 The depth of any porch should not normally extend out past the line of a bay window unless there is a clear and acceptable design reason for doing so. On flat-fronted houses, a porch should reflect the character of the dwellinghouse to provide a basis for design, reflecting the architectural design, conventions and materials of the existing building. The following diagram illustrates the style and design of porch likely to prove acceptable. Porches should normally allow the original features of the house to remain prominent and should also copy any existing detailing on the front door.



Fig A5.16 Front porches should be small and minor to the appearance of the house

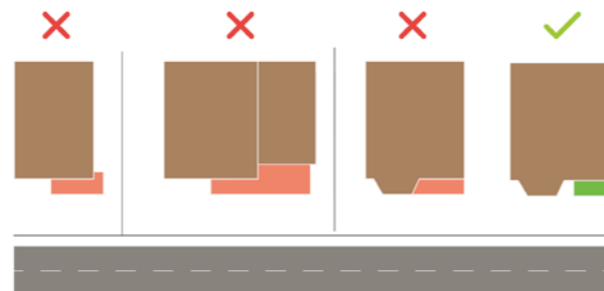


Fig A5.17 Front extensions that are larger than a porch are not acceptable

10. Roof extensions, roof lights & solar panels

10.1 Summary

- A580 Any roof extension can have a big impact on the appearance of a house and the surrounding area and therefore it is important to make the size of the extension subservient to the size of the roof face within which it would be set. There are a number of roof extensions that house owners can build using the permitted development rights of a property without the need to make a planning application, for more details on this please refer to paragraph A5.15.
- A581 If applicants are proposing to convert a sloped hip-end roof into a flat gable-end roof on the side of the house, the Council will normally refuse this because it would unbalance the appearance of the house, pair of semi-detached houses or terrace. However, should an adjoining house already have this type of alteration it may be possible to re-balance the appearance a pair by building a similar extension. The Council will base its assessment on the impact of the extension on the street scene and character of the property.
- A582 The same may apply to an end-of-terrace house where the opposite end-of-terrace property on the same row has been extended in this way. As these situations are rare, we recommend that you discuss your proposal with a planning officer at an early stage by taking up the Council's pre-application advice service.



Fig A5.18 Converting a sloped hip-end roof flat gable-end roof would unbalance the appearance of the house

- A583 Potentially acceptable methods of extending into the side or rear roof of the property involve the erection of a dormer window and the insertion of roof lights into a roof slope.
- A584 The size of each roof face will vary from one house to the next. As a guide, any roof extension to the rear of a terraced house or a small semi-detached house should be set at least 0.3m below ridge level, at least 0.5m above eaves level and at least 0.5m from the sides of the roof.
- A585 On larger detached and semi-detached houses these set-ins should be increased to at least one metre. Where a terraced house has parapet walls on each side of the roof, these should not be built up – the dormer or extension must be set in. Sometimes, the need to include a staircase would result in a wider dormer. In these cases, the roof extension will normally be refused and you may have to consider a standard loft conversion with roof lights.
- A586 Dormer windows on a side elevation would need to be clearly subservient to the scale of the roof slope, set in from all sides of the roof. If you propose dormers on both the side and rear roof slopes, they must remain independent from each other and not wrap around to create one large extension.

10.2 Design

- A587 The Council will normally accept a flat roof for a rear dormer. The design, style, proportions and size of proposed windows within the dormer should match those on the existing rear elevation. Dormer window extensions on the side roof should be small and have a pitched or hipped roof at the same angle and style as the main roof slope. The internal layout of the roof extension should allow the side dormer to provide the headroom for a stairwell only so that the window facing the adjoining house does not overlook a bedroom or living room. Side windows must be in frosted glass.

10.3 Position

A588 To be acceptable, a dormer window or roof extension should be set in the centre of the roof face or positioned so that it is as unobtrusive as possible where features on the building allow this, such as behind an existing two-storey rear extension.

A589 Dormer windows to the front of the property will generally be refused due to their impact on the character of the street scene.

A590 The Council will normally refuse any proposed roof extension that exceeds / raises the ridge height of the property as well as roof extensions over two storey outriggers/rear additions.



Fig A5.19 Roof extensions should be set in the centre of the roof face

10.4 Scale

A591 The Council will normally refuse roof extensions that would be as wide as the house and create the appearance of a large box. Where the roof can be extended, the Council recommend that you build a modest dormer window extension.

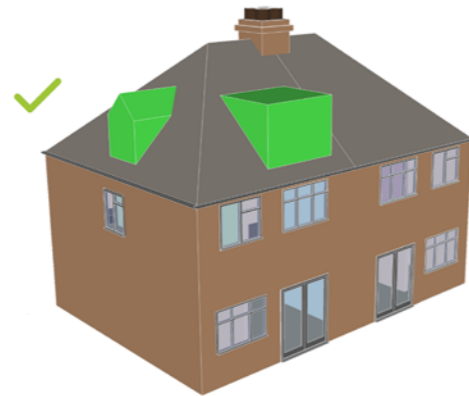


Fig A5.20 Dormer windows should be set in the centre of the roof face

10.5 Mansard Slopes

A592 Normally, creation of a mansard – style extension will not fit in with the character of the area. However, in areas with older house styles and where there is a historical precedent, planning permission may be given for an attractive mansard slope that complements the appearance of the house and street scene.



Fig A5.21 Extensions should not extend to the full house width and not wrap around two planes of the roof

10.6 Roof lights

A593 In most cases a roof light that does not project above the face of the roof will not normally require planning permission. Any roof light should respect the size and position of the windows in the main house. Concerns may be raised where several roof lights are proposed in the front roof face and these may be refused.

10.7 Balconies & Roof Terraces

A594 While balconies and roof terraces can replace garden space lost through the construction of an extension, their use requires planning permission. The Council will normally refuse roof terraces because they can lead to loss of privacy.

10.8 Solar Panels

A595 The Council strongly support the provision of solar panels in accordance with policies seeking to secure sustainable energy generation and carbon reduction. Most panels will benefit from permitted development rights. Should you need planning approval for panels, we suggest you seek advice using our pre-application advice service. More guidance on solar panels is given in section 12.1.



Fig A5.22 Mansard infills may be possible where historical precedent exists



Fig A5.23 Roof lights should respect the size and position of windows in the main house

11. Front Gardens, Parking & Boundary Walls

11.1 Front Gardens & Parking

A5.96 The loss of front gardens leads to a degradation of a neighbourhood's character over time, may result in a greater likelihood for surface water flooding and reduces the biodiversity in the local area. Where off street parking is permitted, the following design guidance suggests ways to reduce harm:

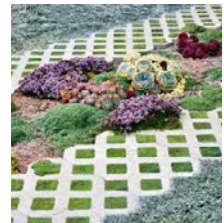
A5.97 Householders must use permeable surfacing to allow rainwater to drain through, ensure all water run-off must be contained within the site through adequate drainage to avoid water running on to the public highway and ensure that a steep driveway gradient is avoided. This is important because it decreases the likelihood of flooding. A proposal should avoid material chippings/fragments/loose gravel from spreading onto the highway. A selection of appropriate materials are shown below.

A5.98 Car parking areas should be kept to the minimum space necessary to allow a vehicle to be parked at right angle to the road and the design must retain a clear access route to the front door without obstruction from parked cars. A significant residual area for new planting, rain gardens or the retention of mature trees and shrubs allows the

street to retain a green feel, reducing the degradation of local character. It also helps to reduce overheating in summer, through providing shade and the cooling effect of evapotranspiration (whereby trees and shrubs with roots in the ground release moisture into the air from their leaves, having a cooling effect). It also makes space for nature, supporting biodiversity, and provides food for birds and other wildlife. Some examples of this are shown in the appropriate materials below.

A5.99 Where the front garden space is more compact, areas of planting can be left along the edges of the driveway. These could be rain gardens to aid with drainage which contain plants that can stand waterlogging for up to 48 hours at a time. More drought-tolerant plants are used towards the edges. It could also include planting and re-wilding, such as sowing species that promote pollinators, allowing areas of grass to seed and installing features to support wildlife such as bee hotels, bird boxes, bat bricks and hedgehog holes in garden fences. This adds greenery to the streetscene. Some plants can tolerate being planted under a car; the Royal Horticultural Society (RHS) has some guidance on what types of plants work best.

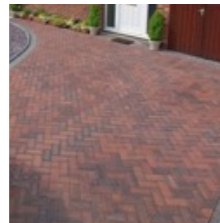
Selection of appropriate permeable driveway materials & planting and form.



Planting under cars



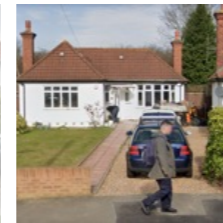
Reinforced Gravel Grass



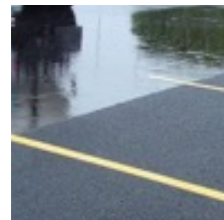
Porous Block Paving



Parking area kept to a minimum



Planted border

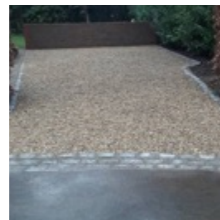


Porous Asphalt (picture shows non-porous vs porous asphalt)

A5-21



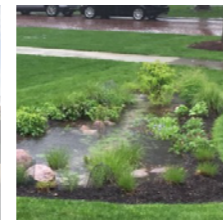
Porous concrete- Rainwater harvesting below permeable concrete blocks



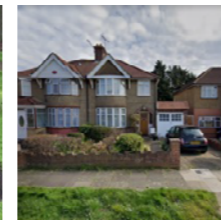
Loose Gravel (must be contained with property curtilage)



Retention of mature trees and shrubs



Rain Garden



Retention of a front wall

A5.100 In some cases, applicants will need planning permission to create a driveway or hard standing in a front garden. If this involves losing most of the garden area or attractive trees the Council will refuse your application.

A5.101 Steps and pathways in the front garden should be repaired and not replaced. The Council will encourage the repair or restoration of original tile or mosaic front steps as part of major schemes. The Council will not normally allow removal of original tiles or the installation of inappropriate tiles. The Council will expect sympathetic proposals for front gardens as part of any conversion, extension, or major refurbishment. The conversion of unused parking provision into rain gardens or other sustainable drainage infrastructure is encouraged.

11.2 Dropped Kerbs

A5.102 Planning permission (submitted to Hounslow Highways) is required to drop the kerbs to allow vehicular access to a front driveway for classified roads. Where illegal crossings are built the council will take enforcement action. Permission or prior approval may also be required to install dropped kerbs in other scenarios; Hounslow Highways will need to be contacted about any new vehicle crossover or dropped kerb. Dropped kerbs should comply with the crossover policy.

11.3 Boundary walls and fences

A5.103 The retention of front walls, fences and gates is another way of ensuring that a street's original character is retained. Opening part of the wall, rather than demolishing the whole wall, can often accommodate parking while maintaining the majority of the boundary wall. If an opening is made in an existing wall, fence or other boundary feature, the ends should be made with matching or sympathetic materials. Any new walls, fences or other boundary features should reflect design guidance in this section.

A5.104 Where a proposal would involve removing part or all of the garden wall or railing adjacent to the street/pavement and the wall or railings form part of a consistent means of enclosure to a terrace or pair of dwellings, the Council will

refuse permission. This is to prevent the loss and fragmentation of an important feature of the street's style.

A5.105 Many properties will not need planning permission to construct boundary treatment up to a certain height.

A5.106 Where applicants do need planning approval, they need to reach a balance to achieve a suitable level of privacy to the host property while not harming the street's character. The Council recommend a height of up to two metres for boundary walls and fences around a rear garden.

A5.107 In terms of front boundary treatment, designs should seek to reflect the character and vernacular of the area, particularly where there is a consistent style of boundary treatment.

A5.108 Where there is limited consistency in a street we would usually require that boundary walls and fences be restricted to a height under one metre at the front of the property. This ensures that an open street environment is retained and that the character of properties in the street may be appreciated.

A5.109 Gates should not open out over the pavement.

A5.110 The Council may consider front boundary treatment that proposes a mixture of wall and railings over a height of one metre acceptable in certain locations, with a ratio of one third wall to two thirds railing recommended. The Council will make it a condition of any planning permission that the railings are not later infilled with solid material for safety and security reasons and to protect an area's appearance.

A5.111 When proposing vehicle access applicants should first consult the Council's guidance: Crossovers and Off – Street Parking Policy'. This deals with issues such as retaining vehicular site lines.

Key policies and guidance

- Applicants can find advice on hard standing to serve parked cars in the Council's guidance 'Residential Crossovers and Off – Street Parking Policy'.
- RHS, Gardening Matters, Front Gardens

12. Sustainable Energy Infrastructure & Insulation

12.1 Solar Panels

- A5.112 Care should be taken when determining the appropriate location for solar panels. The visual impact on panels will be most significant when they are placed on roof slopes visible from the public realm. Wherever possible, panels should be positioned in an area where they are the least visible.
- A5.113 Further to roof space selection, there are a number of ways the visual impact of panels can be reduced:
- A5.114 Ensure panels are evenly spaced on the roof slope and not in an irregular pattern;
- A5.115 Ensure the position of the panels would retain even distances to the roof margins (ridge, eaves, party walls) and/or walls margins;
- A5.116 Place panels behind parapets or roof features where possible (such as chimneys), and where these features do not cause shading issues;
- A5.117 Run cabling in a position to minimise visibility;
 - Use cabling and cable ducts which are in keeping with the colour of the building exterior.
- A5.118 Solar panels should avoid impacting on the character and significance of heritage assets and should be removed when no longer required.

12.2 Air Source Heat Pumps

- A5.119 Air source heat pumps should be discreetly positioned at the rear or side gardens of the property at ground floor level to minimise impact on the external appearance of the building. This is particularly important in sensitive locations and on heritage assets to avoid impacting on the character and significance of the asset. Consideration should also be given to placing the unit where it will not cause noise nuisance to neighbours. Units should be removed when no longer needed.

12.4 Electric Vehicle (EV) Charging Points

- A5.120 Where off street parking already exists and a vehicle charging point is desired this will usually be acceptable in principle, however it should be placed as discreetly as possible to respect the character and amenity of an area and avoid impacting on the character and significance of heritage assets. This would ideally be on a side wall or low on the façade. Small charging units should be selected where possible. When no longer required, the charging point should be removed and any wall reinstated.

12.5 External Wall Insulation

- A5.121 Where a property is detached or appears unique in a streetscape, the Council is unlikely to object to a planning application for external insulation unless the property is of designated architectural merit (listed, within a conservation area). Should the property be semi-detached or within a terrace, alternative forms of retrofitting will first be encouraged. Should no other retrofitting measures prove feasible, then householders are encouraged to engage in the Council pre-application advice service.

12.6 Wind turbines

- A5.122 Wind turbines should be discreetly placed at the rear of the property, and should be positioned to not appear above the ridge of the roof.
- A5.123 The blades of the turbine should be made of non-reflective materials, and must be removed when no longer used.

12.7 Minimising Operational Energy and Reducing Water Use

- A5.124 Residential extensions are expected to demonstrate that the use of mains water has been minimised by incorporating measures

such as smart metering, water saving taps and appliances and recycling measures.

- A5.125 Other measures to minimise operational energy in refurbishment projects are contained within the Climate Change Mitigation and Adaptation SPD. Many of these are applicable to residential extension projects and applicants are considered to incorporate them, where applicable.

13. Garages

13.1 Existing garages

- A5.126 Any planning application that proposes to demolish or replace an existing garage should be accompanied by justification to show that there would be no harm to on-street parking nearby. This could include re-providing parking elsewhere on site or undertaking a parking survey to prove there is enough space on street to accommodate extra vehicles.
- A5.127 If the garage to be removed is accessed via a crossover that is no longer required we will require its reinstatement into footway at the applicants cost.

13.2 Converting a garage to a habitable room

- A5.128 Such conversions may require planning permission. Depending on when the garage was granted planning permission, the Council may have attached a condition to the permission that only allows it to be used to park a car. The Council's statutory register of planning decision notices (available online) will help applicants find out if such a condition exists for their properties. If there is, you will need planning permission to convert it. If the use of the garage is not conditioned, applicants may still need permission to change the appearance of the garage elevation to a wall and a window and you should check with the planning department first.

13.3 Providing a new garage

- A5.129 In October 2016 Hounslow Council adopted its 'Residential Crossovers and Off – Street Parking Policy' document (available at the Council's website). This document includes details of the size and location requirements for garages and guidance on forming crossovers and new access points to a property. Applicants should refer to this document when proposing a new garage alongside the design guidance outlined above, should the garage form part of an extension or outbuilding.

14. New and Replacement Windows and Doors

14.1 New and Replacement Windows and Doors

A5.130 Most houses in the borough do not require planning permission to install new or relocate existing windows and doors. When planning permission is required, a proposal should respect the existing character of the property. New windows and doors should be similar in design and location and use materials to match existing windows and doors on the host and neighbouring properties. Where possible, design details, such as sash windows and soldier courses should be retained and reinstated.

A5.131 Applicants will find further advice on windows and doors in conservation areas in paragraph A5.160.

15. Miscellaneous development

15.1 Miscellaneous Development

A5.132 There may be a number of alterations you wish to make that are not covered in this guidance, such as installing air conditioning units or satellite dishes. As a basic rule you should locate these as discreetly as possible to the rear of the house, place them to ensure they do not cause loss of light or outlook to neighbours. You should seek pre-application advice before installing such fixtures.

A5.133 Air conditioning units should be positioned away from the boundary and fitted with a screen where necessary to ensure they do not cause noise disturbance to neighbours. You would need to include a noise assessment as part of any planning application for such installations. The Council will not generally allow air conditioning units on top of extensions or on a roof. You should position them to minimise their visibility, typically at ground floor level.

A5.134 The Planning Portal Website: www.planningportal.gov.uk offers further guidance for satellite dishes.

16. Conservation Areas and Listed Buildings

16.1 Conservation Areas

A5.135 Hounslow currently has several conservation areas spread across the borough. Each conservation area has an appraisal which describes the special character of that area and offers some guidance in the form of a SWOT (Strengths, Weaknesses, Threats, Opportunities) analysis. You should refer to the individual appraisal alongside this SPD. Guidelines in this SPD aim to address the general amenity and character considerations associated with householder development.

A5.136 Some properties in a conservation area may be subject to an 'Article 4 Direction'. For further information please refer to paragraph A5.168 of this guidance

A5.137 Any new development in conservation areas must preserve and/or enhance the special character and appearance of the area. Development must be of a high standard of design and respect the existing architectural style, scale, proportion, position, materials, roof, boundary treatment and landscaping in and around the site.

A5.138 All forms of development in a conservation area, including conversions, will affect the appearance of the property. Works such as replacing a roof, installing new windows, removing boundary walls and removing a chimney or wall will affect the overall appearance of the property and area and you may need to seek planning permission from the Council.

A5.139 In most cases, extensions will have to use materials and be of a design that reflects or exactly matches the original building. However, the Council do welcome modern design in conservation areas which respects the style and character of the area. New windows and doors should be of a similar style of the original materials and style used in the building.

A5.140 Conservation Area appraisals can be found at Council's website.

16.2 Listed Buildings

A5.141 If a building is listed, then applicants will need Listed Building Consent for any alteration that would affect the special architectural and/or historic interest of the building (both inside and out). The Council's Conservation team can provide guidance on properties that are listed. If you aren't sure if your property is listed, you can check on Historic England's website.

A5.142 Some proposals may also require planning permission in addition to listed building consent. Proposals to convert or subdivide a listed building are likely to be considered appropriate only if the internal layout and external appearance of the building lends itself to this use.

A5.143 The Council will make our decisions mainly on the individual merits of each property, however all alterations to the building must safeguard the listed building's special character. The Council will be likely to resist removing original features such as walls and openings. Where there may be scope for openings in original walls, these should be modest with nibs and upstands retained to identify original features.

A5.144 Applicants must support any proposal by a heritage statement which highlights original and non-original features of the property and provides historic and architectural justification for your proposed changes.

A5.145 This advice extends to proposals that may impact on the setting of a listed building, with care needed to ensure an addition does not dominate or detract from the site.

17. Extensions in conservation areas

- A5.146 New extensions should never dominate in terms of bulk, scale or design. In most cases using the existing architectural features of the parent building ensures a harmonious design. However, in some cases a more modern design approach may be acceptable where this would not harm the character of the area or the building. Modern approaches should reference elements of the original buildings and wider area.
- A5.147 Original rear projections that form a specific feature of the building or rhythm of a terrace, such as a two storey outrigger, must be preserved.
- A5.148 The Council will normally refuse two storey and first floor rear extensions in a conservation area where they are clearly visible from the public realm or harm the character of the area.
- A5.149 It is not likely that The Council will grant permission for a side extension which would rise to the eaves or above, or create a joined-up (terracing) effect – particularly where this unbalances a pair of properties.

18. Roof extensions and roof terraces in conservation areas

18.1 Roof extensions

- A5.150 Although extending the loft space may be a practical way of enlarging a house, the guidelines controlling roof extensions in conservation areas are more restrictive than those in the Roof Extension section above. This is because of the effect this might have on the character and appearance of the conservation area.
- A5.151 The Council will not allow large roof extensions but will consider smaller dormer window extensions where they do not harm the character of the area.
- A5.152 Roof extensions over rear outriggers will normally be refused.

18.2 Front dormers

- A5.153 Dormers will not normally be acceptable on the front roof slopes, because these are likely to harm the character and appearance of the conservation area.

18.3 Side dormers

- A5.154 The Council will only approve side dormers where they would respect the profile of the original hipped roof and are small and in keeping with the style of the building. They will not normally be acceptable on exposed corner sites where they can harm the appearance of the building. Dormers on both sides of a hipped roof are likely to be unacceptable, because this fundamentally changes the roof scape. Side dormers which would involve the removal of a chimney will not be acceptable.

18.4 Rear dormers

- A5.155 Dormer window extensions should be of modest size and not dominate the roof. As a rule they should be less than half the width (i.e. from party wall to party wall) of the original roof, set down one metre from the ridge and one metre above the eaves. A central position is usually preferable

and the extension should reflect the design of the original building. A pitched or hipped roof may be required and, where appropriate, ornamental barge-boards or cornice may need to be included. Windows should reflect the prevailing design of the original building and should fill the frame of the dormer.

18.5 Hip to Gable

- A5.156 Hip to gable roof extensions will not normally be acceptable because they would undermine the character of the building and the street, altering its original proportions.

18.6 Roof lights

- A5.157 You should propose roof lights on the rear or side roof faces of a house only, positioned so as to match the position of the main windows of the house. In some situations, the Council may accept a single small roof light may be acceptable on the front roof face but it must be 'conservation style', installed to be flush with the existing roof slope.

18.7 Replacement Roofs

- A5.158 Where natural slate or tiles dominate the street, you will be required to use these matching materials when repairing or replacing a roof. In some cases where a roof is hidden from view, grey cement-fibre or imitation tiles may be acceptable.

18.8 Roof terraces

- A5.159 The Council will normally refuse permission for new terraces or balconies, or enlargement to existing terraces or balconies in conservation areas.



Fig A5.24 Dormer window extensions should be of modest size and not dominate the roof.

19. Miscellaneous development in conservation areas

19.1 Doors

A5.160 Should you need planning permission to alter or replace a front door for a property in a conservation area, the Council will not normally allow a modern replacement.

19.2 Windows

A5.161 When they need planning permission the Council will normally refuse replacement windows where the new materials, design, colour, proportion and finish would differ from the original prevailing types. Substituting a timber sliding-sash with a PVCu or aluminium replacement will not normally be acceptable, for example, because these materials do not always satisfactorily replicate the timber frame design.

A5.162 The Council's preference is for original windows to be retained, where possible.

A5.163 Secondary glazing and draught proofing can help improve the performance of traditional windows. Where windows do need to be replaced, double or even triple glazed windows are often available made in traditional materials and styles. You should retain original stained glass windows.

19.3 Painting, Cladding and External Wall Insulation

A5.164 If applicants wish to clad the exterior of a building (including rendering and external insulation) in a conservation area they will need to get planning permission. External wall insulation is unlikely to be acceptable due to the loss of architectural detailing and harm to character. In some conservation areas in the Borough, legal controls (such as Article 4 Directions – see restricted Permitted Development rights below) also restrict the painting of render and brickwork. You may need planning permission to paint brickwork or change the paint colour of a facade in these areas. Like-for-like maintenance is normally acceptable.

19.4 Architectural Details

A5.165 During building works, architectural details such as balustrades, cornices, balconies, chimney stacks and window sills can be damaged. In a conservation area, these features form part of the historic character and you should protect them during construction and retain or, if appropriate, replicate them in the extension.

19.5 Basements

A5.166 Small basements beneath the existing footprint of the house may be acceptable, but will depend on the specific context of the site and surrounding area. The Council will usually resist front and side basement light wells in Conservation Areas, because they can be an incongruous addition to the street scene, involve unacceptable loss of garden space and diverge from the style of the host property and its neighbours. For more guidance on basements, please see the Basements section.

A5.167 No basements are allowed in Bedford Park Conservation Area.

19.6 Restricted Permitted Development Rights

A5.168 In some Conservation Areas, such as Bedford Park and Gunnersbury Park there are Article 4(2) Directions. This means that some of the property's Permitted Development (PD) rights have been removed. Similarly, new houses in conservation areas may have had their PD rights removed by condition. You may, therefore, have to apply for planning permission for a development that might have otherwise been allowed under the Town and Country Planning (General Permitted Development) Order.

A5.169 To find out whether your rights have been removed, you should either visit the Council's website or seek pre application advice.

19.7 Sustainable Infrastructure

A5.170 Historic England advocate for a 'whole building' approach to retrofitting sustainability measures into historic buildings. This approach advocated considering the building holistically and looking at a range of measures which can improve thermal performance without impacting the character of the building. More information can be found in the guidance on Historic England's website

19.8 Solar Panels

A5.171 Within a conservation area solar panels are only considered permitted development if the panels are sited, so far as practicable, as to minimise its effect on the external appearance of the building and the amenity of an area. In conservation areas, panels should discreetly be positioned on the rear roof slope or on a flat roof in order to preserve and enhance the character of an area.

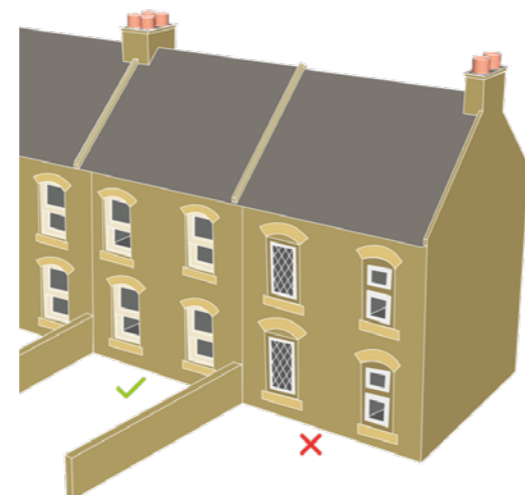


Fig A5.25 New windows must match the original style and proportion

Key policies and guidance

- Historic England, Saving Energy and Cutting Carbon in Your Home: <https://historicengland.org.uk/advice/your-home/energy-efficiency/making-changes-to-save-energy/>

